

DAYBREAK

BUILDING & DESIGN COVENANT

[BOLDSTONE.COM.AU/DAYBREAK](https://boldstone.com.au/daybreak)

A COASTAL
NEIGHBOURHOOD
SHAPED BY
THE RHYTHM
OF THE DAY.



TABLE OF CONTENTS

DAYBREAK DESIGN PHILOSOPHY	05
PURPOSE OF THE COVENANTS	05
COMPLIANCE WITH THE COVENANTS	07
COMPLIANCE WITH LEGISLATION	07
DESIGN APPROVAL	08
HOMES	10
BUILDING DESIGN AND STREET PRESENTATION	10
MATERIALS, COLOURS AND ROOF DESIGN	12
BUILDING SIZE AND SETBACKS	19
CORNER LOTS	19
GARAGES AND DRIVEWAYS	19
SHEDS AND OUTBUILDINGS	19
FENCING	21
LETTERBOXES	21
LANDSCAPING	21
WATER TANKS, SERVICES AND EXTERNAL FIXTURES	22
CONSTRUCTION TIMEFRAMES	24
CONSTRUCTION ETIQUETTE	24
PROPERTY MAINTENANCE	25
STORAGE OF VEHICLES AND EQUIPMENT	25
TEMPORARY STRUCTURES	25
TRANSFER OF COVENANTS	25
COMPLIANCE WITH COVENANTS	26
DEFINITIONS AND INTERPRETATION	27
APPENDIX	28

DAYBREAK

WELCOME TO THE NEIGHBOURHOOD



01

DAYBREAK DESIGN PHILOSOPHY

Daybreak is built around the lifestyle that comes with living close to the coast, where early mornings and access to the outdoors are part of everyday life.

Located in the coastal pocket of Innes Park, the neighbourhood draws inspiration from the activities that define life in this part of the region and the freedom that comes with coastal living here, the day often begins early, with the first light of morning setting the tone for everything that follows.

Homes at Daybreak are intended to support this way of living. They should balance comfort with freedom, providing space for the life residents bring with them - whether that is a boat ready for the water, bikes for exploring the coastline, or a home designed for relaxed outdoor living.

At the same time, Daybreak has been planned with a strong sense of quality and refinement. Homes should sit comfortably within the coastal setting, using thoughtful design and durable materials suited to coastal conditions to create a neighbourhood that is cohesive and enduring.

These Building and Design Covenants (**Covenants**) have been prepared to guide the design and establishment of homes throughout Daybreak and to ensure the neighbourhood evolves in a consistent and well-presented way.

02

PURPOSE OF THE COVENANTS

These Covenants are intended to guide the way homes and improvements are established and maintained within Daybreak and to ensure development occurs in a coordinated and considered manner.

The purpose of these Covenants is to:

- maintain a cohesive and attractive streetscape;
- protect the long-term value and desirability of Daybreak;
- guide the design and construction of homes consistent with the character of Daybreak;
- ensure each home within Daybreak contributes positively to the overall quality of the neighbourhood;
- to ensure the character of Daybreak is consistent across all Lots in Daybreak;
- to ensure each of the buildings on each of the Lots in Daybreak conform to Daybreak's sustainability goals;
- to ensure Owners' use and enjoyment of their Lot is not interfered with as a consequence of the Buyer's building activities (and vice versa);
- to ensure the value and desirability of each Lot, both sold or to be sold by the Developer and those owned by the Buyer and Owners within Daybreak is maintained and enhanced by the Buyer and each of the Owners in Daybreak, achieved through the adherence to a consistent standard, character and dimension; and
- to ensure each of the buildings in Daybreak comply with approved plans, development approvals and laws and requirements.

These Covenants apply to each Lot within Daybreak and are binding on the Buyer, Owners and all future Owners.



SPACE FOR THE LIFE YOU
BRING WITH YOU

03

COMPLIANCE WITH THE COVENANTS

The parties agree that the Buyer must comply with these Covenants in addition to any requirements under relevant planning schemes, building regulations and legislation.

Where a proposed design varies from the specific provisions of these Covenants but remains consistent with the intent of these Covenants and the character of Daybreak, the Developer may consider and approve a variation upon request, acting reasonably.

The Buyer acknowledges that:

- the Developer has a vested interest in maintaining the value and desirability of Daybreak;
- non-compliance with these Covenants by the Buyer may diminish the value of Daybreak and impact other property Owners;
- the Buyer acknowledges that the Developer has a legitimate interest in maintaining the quality, coherence and value of Daybreak, including unsold Lots and Lots owned by other Owners.
- if the Buyer fails to comply with these Covenants and does not remedy the breach within a reasonable time after receiving written notice from the Developer to remedy the breach (having regard to the nature of the breach), the Developer may exercise its rights at law and under these Covenants, acting reasonably and proportionately.

In respect of the Lot, the Developer may elect not to enforce specific provisions within these Covenants without waiving its overall rights under these Covenants.

In respect of lots within Daybreak (other than the Lot), the Developer may vary or elect not to enforce specific provisions of these Covenants (as they may differ and apply to other lots in Daybreak) that apply to Owners within Daybreak in its discretion.

04

COMPLIANCE WITH LEGISLATION

All buildings and improvements must comply with the applicable planning scheme, building legislation and any approvals required by relevant authorities.

Buyers are responsible for obtaining all necessary development and building approvals prior to commencing construction.

Approval under these Covenants confirms compliance with the Covenants only and does not replace or remove the requirement to obtain approvals required under relevant legislation or from applicable authorities.



05

DESIGN APPROVAL

Prior to commencing construction, Buyers must submit details of the proposed dwelling and any associated structures on the Lot to the Developer for review to confirm compliance with these Covenants, acting reasonably.

To assist with this process, Buyers must complete the Daybreak Buyer Self-Assessment Checklist in Appendix A (**Checklist**) and submit it together with the design documentation (as detailed under the heading "Submission Requirements" below), to the Developer prior to commencing any work on the Lot.

The Checklist is intended to help Buyers and builders confirm that the proposed design of the dwelling and improvements for the Lot have been reviewed against these Covenants and complies with the Covenants before submission. Where any element of the proposal does not comply with the Covenants, the Buyer must clearly identify the requested variation within the Checklist which the Seller will consider, acting reasonably.

5.1 SUBMISSION REQUIREMENTS

All submissions by the Buyer must be provided to the Daybreak Design Review Team.

Submissions must be sent to:
Daybreak Design Review Team
enquiries@boldstone.com.au

The following information must be provided:

- Completed **Daybreak Buyer Self-Assessment Checklist** in **Appendix A**
- Site plan showing dwelling location, setbacks, site coverage and driveway
- Floor plans
- Building elevations of all sides of the dwelling
- Roof plan
- Schedule of external materials and colours
- Details of sheds or outbuildings (if applicable), including site plan (showing shed/outbuilding location, setbacks and site cover)
- Fencing details
- Landscaping concept or plan

All submitted plans must be clear and sufficiently detailed to demonstrate compliance with these Covenants.

Incomplete or unclear submissions may be returned to the Buyer for further information.



5.2 VARIATIONS

Where a proposed design varies from the requirements of these Covenants, the Buyer must clearly outline the variation request within the Checklist and provide:

- reasons for the variation;
- the genuine or reasonable requirement for the variation; and
- supporting information where relevant.

The Developer, acting reasonably, will review the request and may approve or decline the variation having regard to:

- the intent and purpose of the Covenants and the character of Daybreak;
- the reasonable interests of the Developer, Buyer and any Owners; and
- the extent that the variation or modification will materially and detrimentally affect the Buyer, Lots, Owners and/or Daybreak.

In this respect, the Buyer acknowledges that the Developer has the right to vary (other than for the Lot of the particular Buyer), exclude or elect not to enforce any of the Covenants in respect of Daybreak.

If the Developer has allowed a variation to the Covenants for an Owner, this does not mean that the Developer will allow a variation for the Buyer.

5.3 APPROVAL PROCESS

The Developer, acting reasonably, will review submissions and provide written confirmation of approval, refusal or any required amendments within 10 business days after receipt of a complete submission.

Construction must not commence on a Lot until written approval has been issued to the Buyer by the Developer pursuant to these Covenants.

06

HOMES

Homes at Daybreak should reflect the relaxed coastal lifestyle offered by the surrounding environment.

Dwellings must be permanent homes of good quality construction and thoughtfully designed for contemporary living.

Relocatable homes, shipping container homes or unfinished structures are not permitted.

Homes are encouraged to incorporate outdoor living areas, verandahs or covered spaces suited to the coastal setting.

07

BUILDING DESIGN AND STREET PRESENTATION

The street façade of each home plays an important role in shaping the character of the Daybreak neighbourhood.

Homes should present well to the street and incorporate thoughtful architectural design, articulation and material selection.

The following principles should be considered when designing homes within Daybreak.

ARTICULATION

Street-facing façades should incorporate architectural articulation to avoid long flat walls.

Design responses may include:

- recessed or projecting wall elements
- verandahs or covered entry features
- feature windows
- changes in materials or finishes
- varied roof forms

Blank or featureless façades are discouraged.

ENTRY DESIGN

Each dwelling should incorporate a clearly identifiable entry.

This may include:

- a covered entry or verandah
- feature doorways or architectural framing elements
- entry recesses
- landscaping that highlights the entry



A COASTAL NEIGHBOURHOOD
SHAPED BY THE RHYTHM OF
THE DAY.

08

MATERIALS, COLOURS AND ROOF DESIGN

8.1 DESIGN INTENT

Dwellings within Daybreak should adopt a refined and contemporary coastal character that responds to the surrounding landscape through the use of warm whites, muted neutral tones, natural textures and low-reflective finishes.

Street-facing façades should incorporate a considered mix of materials, finishes and textures to provide visual depth, articulation and architectural interest.

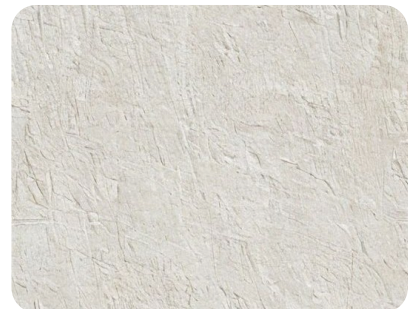
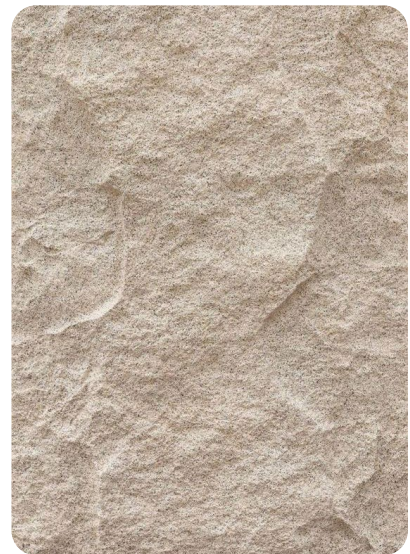
8.2 MATERIALS AND TEXTURE

8.2.1 PREFERRED MATERIAL PALETTE

The following material palette is strongly encouraged:

- natural timber;
- light limestone and stone;
- warm white rendered masonry finishes; and
- muted architectural metal and cladding finishes.

Materials should present a natural, muted and low-reflective appearance that complements the intended coastal character of Daybreak.



8.2.2 CONTEMPORARY CLADDING AND WALL FINISHES

Contemporary and architectural cladding profiles are encouraged where integrated cohesively into the overall dwelling design and where consistent with the intended coastal character of Daybreak.

Examples of suitable wall and façade finishes include:

- rendered masonry and lightweight cladding;
- fibre cement cladding with timber or timber-look features;
- standing seam or architectural metal cladding;
- natural stone or textured masonry feature elements; and
- architectural screening, battens or feature blade walls.

8.2.3 FAÇADE ARTICULATION

Dwellings should incorporate variation in external materials and/or finishes to avoid flat, single-tone or overly uniform façade treatments.

Textured and layered façades visible from the street are strongly encouraged to create a refined and visually balanced coastal streetscape.

8.2.4 MATERIAL DURABILITY

All external materials must be durable, low-reflective, natural in appearance and suitable for coastal conditions.

Highly glossy, mirrored or visually dominant materials that detract from the cohesive coastal character of Daybreak are not permitted.

8.2.5 PROHIBITED WALL FINISHES

The following finishes are not supported where visible from the street or public realm:

- painted face brickwork;
- bagged brick finishes that are not fully rendered;
- limewashed or partially coated brick finishes;
- exposed distressed or artificially aged masonry finishes; and
- external porcelain or ceramic tiles used as vertical wall or façade feature elements.



DAYBREAK

8.3 PRIMARY COLOURS

8.3.1 PREFERRED OUTCOME

A warm, all-white coastal palette is strongly encouraged and represents the preferred architectural outcome for Daybreak.

8.3.2 PREFERRED COLOUR RANGE

External walls should predominantly consist of warm white tones within the following indicative colour range:

- Dulux "Natural White™"
- Dulux "White Exchange Half"
- Dulux "Lexicon® Quarter"

Primary wall colours should appear warm and neutral in natural daylight and must avoid stark, cool or blue-based whites.

8.3.3 APPLICATION

Warm white tones should form the dominant façade treatment and are strongly encouraged to comprise the majority of the visible external wall surfaces of the dwelling.

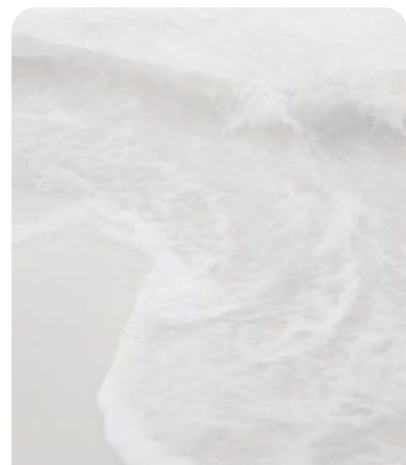
Alternative primary wall colours may be considered where they remain consistent with the intended coastal character and overall streetscape outcomes of Daybreak.



DULUX
NATURAL WHITE



DULUX WHITE
EXCHANGE HALF



DULUX
LEXICON QUARTER

8.4 SECONDARY COLOURS

8.4.1 SECONDARY COLOUR PALETTE

Secondary colours should be limited to muted and neutral tones that complement the primary warm white palette and reinforce the intended coastal character of Daybreak.

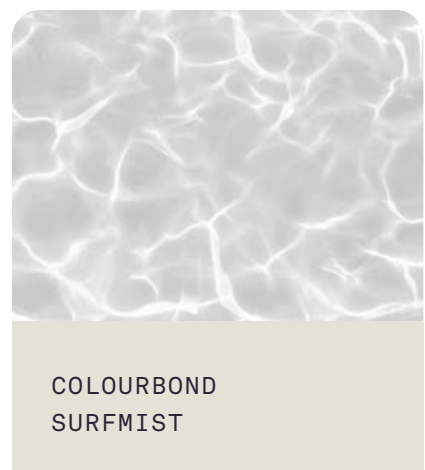
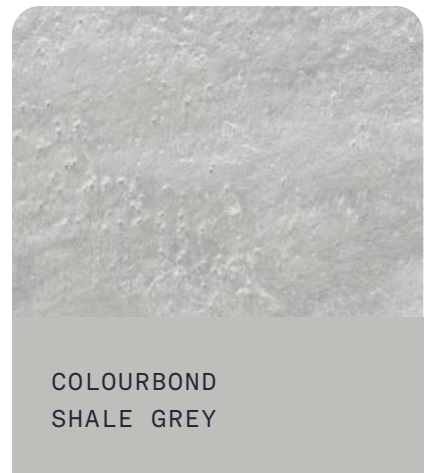
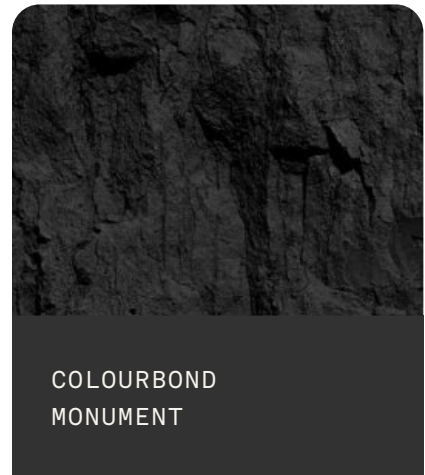
Indicative secondary colour ranges include:

- Charcoal tones such as Colorbond® Monument®, Basalt® or Woodland Grey®
- Light neutral greys such as Colorbond® Shale Grey™ or Dulux “Dieskau”
- Light roof tones such as Colorbond® Surfmist® or Dune®

8.4.2 SUITABLE APPLICATIONS

Secondary colours are encouraged for use on elements including:

- roof cladding;
- window frames and glazing surrounds;
- garage doors;
- gutters, fascias and downpipes; and
- minor architectural detailing and screening elements.



DAYBREAK

8.5 ACCENT COLOURS

8.5.1 ACCENT COLOUR PALETTE

Accent colours should be used sparingly and limited to a single minor architectural element, such as a front entry door or feature detail.

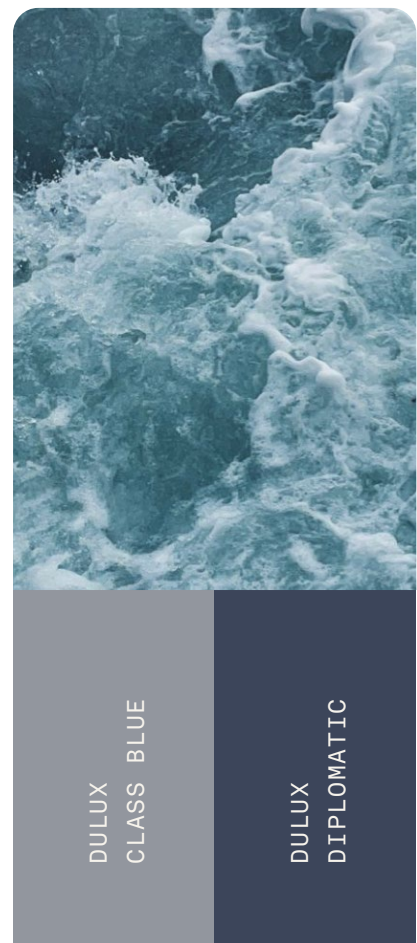
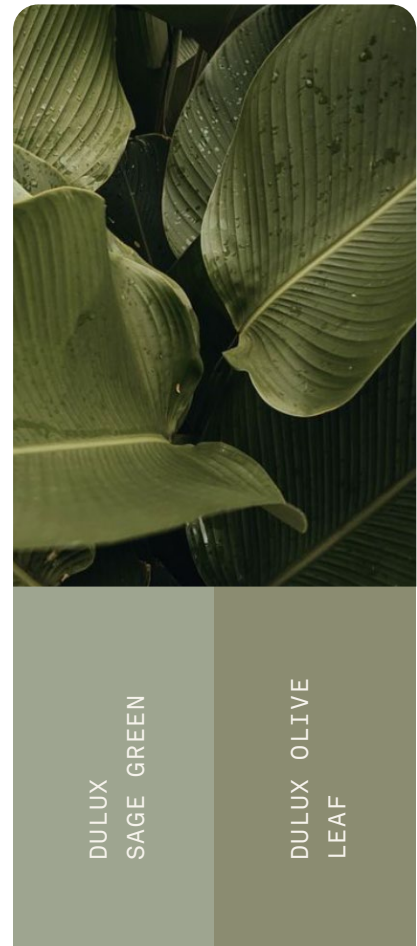
Accent colours should be limited to muted and low-saturation tones such as:

- Dulux "Sage Green"
- Dulux "Olive Leaf"
- Dulux "Class Blue"
- Dulux "Diplomatic"

8.5.2 ACCENT COLOUR USE

Accent colours should complement the primary and secondary palette and must not dominate the overall façade composition.

Bright, highly saturated or visually dominant colours are not supported.





DAYBREAK

8.6 PROHIBITED COLOURS AND FINISHES

The following colours and finishes are not supported where visible from the street or public realm:

- cool or blue-based greys such as Dulux "Diesel Dust"
- yellow or cream-dominant tones
- stark bright whites such as Dulux "Vivid White™"
- jet black or near-black dominant façade treatments such as Colorbond® Night Sky®
- red, orange or dark brown dominant finishes
- high-gloss, mirrored or highly reflective materials and finishes

Colour schemes or surface finishes that, in the reasonable opinion of the Developer, appear visually dominant, discordant or inconsistent with the intended coastal character of Daybreak may not be approved.

8.7 ROOF DESIGN AND SOLAR EQUIPMENT

8.7.1 ROOF FORM

Roof forms should complement the overall architectural design of the dwelling.

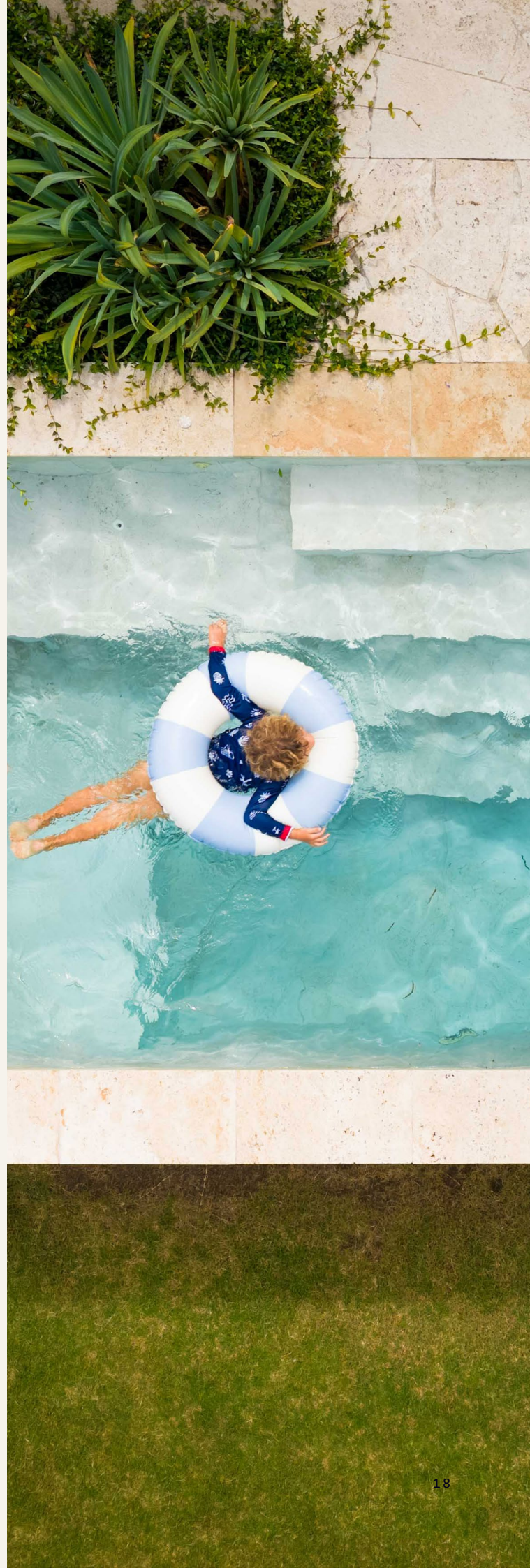
8.7.2 ROOF MATERIALS AND FINISHES

Roofs must be finished in non-reflective materials, such as Colorbond® or equivalent, selected to minimise glare and maintain consistency with the coastal character of Daybreak, subject to compliance with applicable legislation relating to sustainability and energy efficiency requirements.

8.7.3 SOLAR EQUIPMENT

Rooftop solar panels are permitted and may be installed in accordance with the Building Act and other applicable laws.

Associated solar equipment, including batteries, inverters and similar components, should be integrated, screened or located to minimise visibility from the primary street frontage where reasonably practical.



09

BUILDING SIZE AND SETBACKS

All dwellings must comply with the applicable planning scheme and building regulations relating to building size, siting and setbacks.

Homes should be appropriately scaled for the lot and designed to sit comfortably within the surrounding landscape.

10

CORNER LOTS

Homes on corner lots must address both street frontages with architectural features and avoid presenting blank walls to the secondary street frontage.

The secondary street elevation should incorporate design elements such as:

- windows
- articulation or wall offsets
- verandahs or architectural detailing
- continuation of materials and finishes.

11

GARAGES AND DRIVEWAYS

Garages should be integrated into the design of the dwelling and should not dominate the street frontage.

Where practical:

- garages should be recessed behind the primary building line
- wide blank garage façades should be avoided
- garage doors should complement the design of the dwelling.
- Driveways must be constructed of durable materials such as:
 - exposed aggregate concrete
 - coloured concrete

12

SHEDS AND OUTBUILDINGS

Sheds and outbuildings should complement the main dwelling.

Where practical, sheds should be located behind the dwelling and finished in colours and materials consistent with the primary dwelling.

DAYBREAK

A PLACE BUILT
TO GROW WELL

13

FENCING

Fencing should maintain an open and attractive streetscape.

Solid urban-style fencing such as Colorbond® or similar privacy fencing is not permitted along the front boundary.

Side and rear fencing should complement the character of Daybreak.

14

LETTERBOXES

Letterboxes should complement the design and materials of the dwelling.

Letterboxes are encouraged to be integrated into entry features or designed as a standalone structure consistent with the dwelling.

Standard off-the-shelf plastic letterboxes are discouraged.

15

LANDSCAPING

Landscaping should enhance the character of Daybreak and contribute to a well-presented streetscape.

Landscaping, including a driveway and crossover, must be completed within 6 months of dwelling completion.

Planting suited to the coastal environment is encouraged.



WATER TANKS, SERVICES AND EXTERNAL FIXTURES

Water tanks, solar equipment including batteries and inverters (but excluding rooftop solar panels as noted below), air-conditioning units, hot water systems and other service equipment must be located, screened or integrated into the design of the dwelling so that they are not visually prominent from the primary street frontage.

Where possible, these elements should be positioned behind the dwelling line or screened by fencing, landscaping or architectural features.

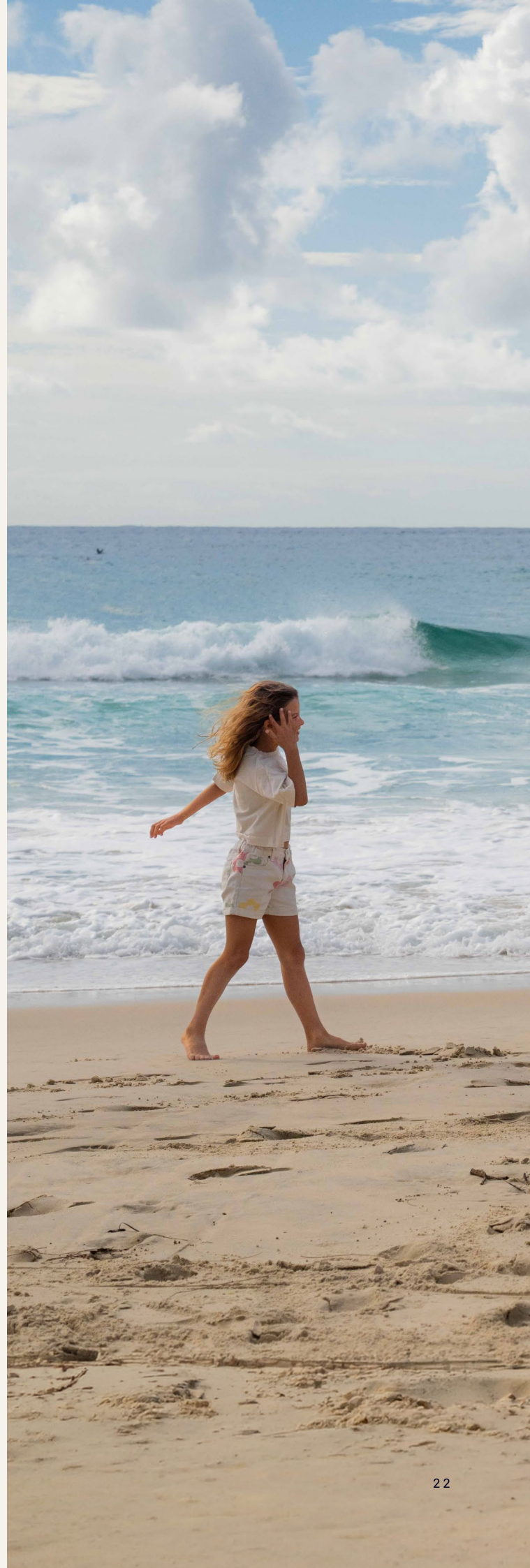
The following items must not be visible from the street unless otherwise approved by the Developer:

- air-conditioning units
- hot water systems
- satellite dishes
- solar equipment including batteries and inverters (but excluding rooftop solar panels)
- rainwater tanks
- waste bins and recycling bins
- pool pumps and pool equipment
- clotheslines

Clotheslines and pool equipment must be located behind the dwelling line or screened from view.

Rooftop solar panels are permitted in accordance with the Building Act 1975 (Qld) and other applicable laws.

Any screening or visual mitigation requirements apply to associated solar equipment only (including batteries, inverters and similar components) and do not apply to rooftop solar panels.





CONSTRUCTION TIMEFRAMES

Construction of a dwelling on a Lot must commence within 24 months of settlement of the Contract, unless otherwise approved by the Developer, acting reasonably.

Once construction has commenced, building works must proceed in a regular and continuous manner and be completed within 18 months, unless otherwise approved by the Developer, acting reasonably, having regard to:

- the prevailing construction market conditions at the relevant time;
- the size, complexity and design of the dwelling; and
- any delays outside the reasonable control of the Buyer or builder.

CONSTRUCTION ETIQUETTE

During construction, Buyers must ensure that their builder, contractors and suppliers conduct works in a responsible manner that protects the presentation of Daybreak and surrounding infrastructure.

The Developer retains responsibility for maintaining roads, footpaths, vegetation and infrastructure within Daybreak for 12 months following Council acceptance as "On Maintenance."

The Buyer indemnifies the Developer against any loss, claims or costs arising from damage to vegetation and infrastructure caused by Buyer and/or its builder, contractors and suppliers during this period, except to the extent caused or contributed to by the Developer and its builders, contractors and suppliers.

The Buyer must ensure that Builders must:

- not park vehicles on neighbouring lots, footpaths or vacant land
- not store materials on roads or adjoining lots without approval
- not dump building waste within the Daybreak estate
- maintain a clean and safe construction site

Damage to infrastructure by the Buyer and/or its builder, contractors and suppliers must be rectified within 72 hours of damage or any longer time with the Developer's consent, acting reasonably.

19

PROPERTY MAINTENANCE

Lots must be maintained in a neat and presentable condition, subject to legal water restrictions.

Grass and vegetation must be regularly maintained to prevent excessive overgrowth.

20

STORAGE OF VEHICLES AND EQUIPMENT

Unregistered vehicles, heavy machinery or building materials must not be openly stored on a Lot in a way that detracts from the appearance of the Daybreak estate.

Boats, caravans and trailers should be stored discreetly where practical.

21

TEMPORARY STRUCTURES

Caravans, transportable buildings or sheds must not be used as permanent dwellings.

22

TRANSFER OF COVENANTS

These Covenants apply to the Lot and are binding on the Buyer and all future Owners of the Lot.

In the event of a sale or transfer of the Lot, the Buyer must ensure the incoming purchaser or transferee is made aware of these Covenants and agrees to comply with them in favour of the Developer.

COMPLIANCE WITH COVENANTS

The Buyer:

- acknowledges that Developer has a significant investment in Daybreak and has an interest in maintaining the value and desirability of Lots within Daybreak;
 - acknowledges that a failure by the Buyer to strictly comply with these Covenants will diminish the value of Developer's significant investment in Daybreak;
 - acknowledges that a failure by the Buyer to strictly comply with these Covenants will diminish the value and desirability of:
 - unsold lots in Daybreak in the hands of the Developer; and
 - Lots sold by the Developer to Owners within Daybreak; and
 - agrees that in the event that the Buyer does not strictly comply with these Covenants, the Developer will have legally enforceable rights against the Buyer, including the right to seek orders from the Courts compelling compliance by the Buyer, the right to enter onto any Lot to undertake works to remedy a non-compliance and/or the right to seek damages against the Buyer.
- sue the Buyer for an injunction to compel the Buyer to comply with its obligations under these Covenants including to undertake any work which is necessary in order to comply with these Covenants;
 - sue the Buyer for an injunction to cease any action being taken by the Buyer in breach of these Covenants;
 - upon reasonable notice being provided by the Developer to the Buyer, the Developer and its agents, employees and workmen may enter, re-enter and remain on any Lot as is reasonably required with or without its agents or contractors to undertake all work reasonably necessary in the Developer's reasonable opinion to rectify any non-compliance with these Covenants at the reasonable cost of the Buyer. The Developer, in exercising this right to enter the Lot and undertake works and maintenance, will have regard to:
 - the reasonable interests of the Buyer and any neighbouring property owners;
 - the benefit and amenity that such works and maintenance will provide the Lot; and
 - the ongoing costs and liabilities to be incurred for the Lot in carrying out such works or maintenance; and/or
 - sue the Buyer for all costs associated with the rights of the Developer under this section.

In the event that the Buyer fails to comply strictly with any covenant of these Covenants and fails to rectify the breach by the date 14 days after receiving written notice from the Developer of the breach (or such longer reasonable time stated in the notice given by the Developer to the Buyer taking into consideration the nature of the breach and the reasonable time required to remedy it), the Developer may, in addition to its rights under these Covenants and at law, do any one or more of the following at its option:

- sue the Buyer for specific performance of its obligations under these Covenants and/or for general damages in addition to or in lieu thereof;

In consideration of \$1.00 payable by the Developer to the Buyer within 14 days after demand, the Buyer hereby irrevocably grants to the Developer and the Developer's agents, employees and contractors, a licence to enter, re-enter and remain on any Lot to undertake the work and maintenance referred to in this section.

DEFINITIONS AND INTERPRETATION

In these Covenants, the following words have the corresponding meaning:

'Buyer' means (as applicable):

- the party who has entered into a Contract in relation to the Lot but is not yet the registered owner of the Lot; and
- the registered owner of the Lot including its successors and permitted assigns;

'Contract' means either (as applicable):

- the contract between the Developer and the Buyer for the sale and purchase of the Lot which contained these Covenants; or
- the deed poll made by the Buyer in favour of the Developer which contained these Covenants;

'Daybreak' means the residential estate known as 'Daybreak' at Innes Park, Qld, 4670 being developed by the Developer, or such other name determined by the Developer from time to time;

'Developer' means Boldstone Innes Park Pty Ltd ACN 689 285 274 and its successors and assigns;

'Lot' means all lots owned by a person from time to time in Daybreak; and

'Owner' means other owners or buyers of Lots in Daybreak which are not the Buyer of the Lot the subject of these Covenants.

For the avoidance of doubt, it is confirmed that notwithstanding the sale or other disposal of any Lot by the Buyer, the Buyer remains liable for all breaches of these Covenants that occurred on or before the completion of the sale or disposal by the Buyer.

The Buyer (if more than one person) agrees that they are jointly and severally liable in relation to the obligations pursuant to these Covenants.

These Covenants do not merge on settlement of the Contract (where applicable).

Any void, voidable or illegal term of these Covenants may be severed unless to do so will result in a change to the basic nature of these Covenants.

BUYER SELF-ASSESSMENT CHECKLIST

This Checklist must be completed and submitted with all design applications for Covenant approval. The purpose of this Checklist is to confirm that the proposed dwelling design on the Lot (and other improvements) has been reviewed against the Daybreak Building and Design Covenants (Covenants) prior to submission.

Where any aspect of the design varies from the Covenants, the Buyer must clearly identify the variation and provide justification.

PROPERTY DETAILS

Lot Number:

Buyer Name:

Builder / Designer:

Email / Phone:

Date of Submission:

SUBMISSION DOCUMENTS (TICK)

Site Plan (showing dwelling location, setbacks, site coverage and driveway)

Floor Plans

Building Elevations (of all sides of the building)

Roof Plan

External Materials & Colour Schedule

Landscaping Concept / Plan

Details of Sheds / Outbuildings (if applicable) including site plan (showing shed/outbuilding location, setbacks and site cover)

Fencing Details

COVENANT COMPLIANCE CHECKLIST

DWELLING DESIGN	
	Single detached dwelling
	Permanent construction (no relocatable / container homes)
	Clearly identifiable entry
	Street façade includes colours and materials that satisfies the Covenants
	Roof is non-reflective Colorbond® (or equivalent) in a non-reflective colour that also satisfies the Covenants

STREET PRESENTATION	
	Street façade includes articulation or design features
	Garage integrated into dwelling and not visually dominant
	Entry feature / verandah provided where practical

CORNER LOTS (IF APPLICABLE)	
	Dwelling addresses both street frontages
	Secondary elevation includes windows or architectural articulation
	No blank walls facing the secondary street

SITE PLANNING	
	Sheds / outbuildings located behind dwelling line
	Boat / caravan storage shown on plans (if applicable)

LANDSCAPING	
	Front yard landscaping proposed
	Landscaping suited to the coastal environment

SERVICES & FIXTURES	
	Water tanks screened from street view
	Air-conditioning units screened
	Solar equipment including batteries and inverters (but excluding rooftop solar panels) positioned to minimise street visibility
	Clotheslines, bin storage and pool equipment screened from street

BUILDING & DESIGN COVENANTS

BUYER SELF-ASSESSMENT CHECKLIST

VARIATIONS FROM COVENANT (IF APPLICABLE)

If any element of the design varies from the Covenants, provide details below.

Covenant Requirement:

Proposed Variation:

Justification for Approval:

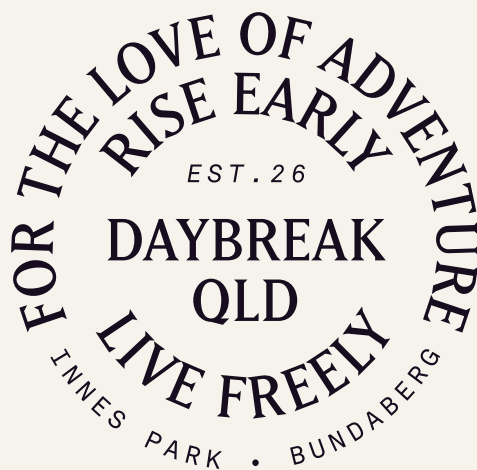
DECLARATION

I confirm that the proposed dwelling design for the Lot has been reviewed against the Daybreak Building and Design Covenants and that the information provided in this Checklist is accurate.

Name:

Signature:

Date:



BUILDING & DESIGN COVENANT

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